

Chapter 5: Existing Conditions 2024 Update

This chapter describes the existing conditions of the DACOR Bacon House as of July 2024. It is intended to be an update to the 2021 HSR condition survey, completed in October 2020, and consists of an existing condition summary matrix, a list of recommended priority treatments, condition photographs, and updated floor plans and elevations that note areas of deterioration.

The summary matrix utilizes condition and deficiency ratings to help describe existing conditions and prioritize maintenance and repair. Such terms are described below. These are unchanged from the 2021 HSR.

Condition Assessment – Standard Rating

Definitions

The terms used to define and describe the conditions of the various building elements and systems are as follows:

EXCELLENT

- Element or system is in condition that requires no restoration or rehabilitation and performs as expected.

GOOD

- Element or system is sound and performing its function, although it may show signs of normal wear and tear. Some minor restoration or rehabilitation work may be required.

FAIR

- Evidence of previous repairs not in compliance with commonly accepted practice,
- Workmanship not in compliance with commonly accepted standards,
- Element or system is obsolete,

- Element or system approaching end of expected performance. Repair or replacement is required to prevent further deterioration or to prolong expected life.

POOR

- Element or system has either failed or cannot be relied upon to continue performing its original function as a result of having exceeded its expected performance, excessive deferred maintenance, or state of disrepair. Present condition could contribute to or cause the deterioration of other adjoining elements or systems. Repair or replacement is required.

VERY POOR

- Element or system has failed. Present condition contributes to or causes the deterioration of other adjoining elements or systems. Immediate replacement is required.

Condition Assessment – Deficiency Priority Ratings

The condition rating of each building element may be translated into priority ratings, depending on the urgency to carry out an appropriate repair or other treatment. The priority ratings are as follows:

MINOR – Short to Long-Term Priority

- There is a reduced life expectancy of the affected and/or adjacent materials and/or systems within five to 10 years and beyond; or
- There is a condition with a long-term impact within five to 10 years and beyond.

SERIOUS – Immediate/Short-Term Priority

- This rating defines a deteriorated condition that if not corrected within one to five years will result in the failure of the feature; or

- A threat to the health and/or safety of the user may occur within one to five years if the ongoing deterioration is not corrected; or
- There is ongoing deterioration of adjacent or related materials and/or features as a result of the feature's deficiency.

CRITICAL – Immediate Priority

- This rating defines an advanced state of deterioration which has resulted in the failure of a feature or will result in the failure of a feature if not corrected within one year; or
- There is accelerated deterioration of adjacent or related materials or systems as a result of the

feature's deficiencies if not corrected within one year; or

- There is immediate threat to the health and/or safety of the user; or
- There is a failure to meet a legislated requirement.

NOT RATED

- The feature does not have a deficiency as of yet, but regular maintenance should continue; or
- No treatment is required at this time

For each of the elements included in the condition matrix, the overall condition and deficiency priority rating are noted.

Existing Conditions Summary and Treatment Recommendation Matrix

| Building/Site Element | Figures | Condition Rating | Priority Rating | Explanation/Condition Summary and Recommended Treatment(s) |
|-----------------------|--|------------------|---|--|
| Site Elements | | | | |
| Front Retaining Walls | Fig. 1 Fig. 2 Fig. 3 Fig. 4 | Fair | Serious (1-5 years) | Open joints at coping stones, failed or missing mortar in some locations; deflection and cracking from hydrostatic pressure as west section of wall on south façade (west of ADA ramp opening). <u>Recommended Treatment(s):</u> Repoint open joints at coping stones; repoint open joints at wall; continue to monitor lean consult landscape architect or structural engineer to consider options for monitoring and addressing deflection from hydrostatic pressure and adding reinforcement rods at areas of step cracking. |
| Exterior Stairs | Fig. 5 Fig. 6 Fig. 7 Fig. 8 Fig. 9 | Fair | Serious (1-5 years) to Minor (5-10 years) | Fractured bottom stone tread at stair on east façade; deterioration of finish at iron stair handrails; deterioration of finish at metal stair to southwest porch (to Garden Room). <u>Recommended Treatment(s):</u> Replace bottom step at east stair with appropriate red sandstone replacement; strip and refinish iron railing at south entrance stair. Repair and refinish iron railing and refinish or replace metal stair at southwest porch. |
| Front Paving | Fig. 10 | Good to Fair | Minor (5-10 years) | Overall good condition. Delaminating stone was tooled to remove loose stone. <u>Recommended Treatment(s):</u> Continue to monitor stone paving, especially where erosion and existing patches are present; reset or fill in brick paving at landing of stair on east façade. |

| Building/Site Element | Figures | Condition Rating | Priority Rating | Explanation/Condition Summary and Recommended Treatment(s) |
|--------------------------|-------------------------------|------------------|------------------|---|
| Garden Walls | Fig. 11 Fig. 12 Fig. 13 | Good | Minor | <p>Overall good condition. Buttress were installed to support south garden wall in spring 2024. Joint between coping stone and flashing at east end of south garden wall (adjacent to southwest porch stair) has deteriorated, as have the skyward facing joints at the coping stones. On the south facing portion of the wall, adjacent to the lintel at the ADA entrance to the building, there is a step crack. Condition remains unchanged at northwest corner of site.</p> <p><u>Recommended Treatment(s):</u> Repoint joints at coping stones (see above) and consider replacing the flashing and roof of mechanical area below. Consult structural engineer to repair step cracks. Repair and repoint step cracks (likely includes installation of stainless steel rods in joints) and replace cracked bricks.</p> |
| Garden Paving | | Good to Fair | Minor to Serious | <p>Few uneven areas of paving are tripping hazards.</p> <p><u>Recommended Treatment(s):</u> Continue to monitor and repair serious conditions each year as needed.</p> |
| Garden Drainage | Fig. 14 | Good | Not Rated | <p>A new drain was installed behind the Mews (Carriage House), alleviating flooding in the garden.</p> <p><u>Recommended Treatment(s):</u> N/A</p> |
| Courtyard Drainage | | Good | Not Rated | <p>Work was done to the drain and basin in the center of the courtyard and the area no longer floods.</p> <p><u>Recommended Treatment(s):</u> N/A</p> |
| Courtyard Paving | | Good to Fair | Minor to Serious | <p>Areas of gaping between paving bricks; soiling and biological growth, minor unevenness.</p> <p><u>Recommended Treatment(s):</u> Continue to monitor and repair serious conditions each year as needed.</p> |
| Courtyard Retaining Wall | | Good | Not Rated | <p>No recorded deficiencies.</p> <p><u>Recommended Treatment(s):</u> N/A</p> |
| Exterior Light Fixtures | Fig. 15 Fig. 16 | Good | Minor | <p>Minor corrosion at cast iron fixtures at main entrance; latches of wrought iron lanterns were repaired.</p> <p><u>Recommended Treatment(s):</u> Consult historic metal specialist. Strip, treat, and refinish corroding cast iron at base of fixtures. Due to delicate condition and age of wrought iron lanterns, only spot paint when needed.</p> |

| Building/Site Element | Figures | Condition Rating | Priority Rating | Explanation/Condition Summary and Recommended Treatment(s) |
|--------------------------|---|------------------|-----------------|---|
| Exterior Elements | | | | |
| Roof | Fig. 17 Fig. 18 Fig. 19 Fig. 20 Fig. 21 | Fair to Poor | Serious | <p>Main Roof (Poor): Flattened seams; peeling, crazing, cracking of paint; deteriorated sealant at joints; strainer boxes at the main roof were replaced.</p> <p>Carriage House (Fair): Flashing at roof is inconsistent and should be inspected, some flattened seams.</p> <p>Entrance Bay (Fair): Deteriorated finish.</p> <p>North Porch (Fair): Deteriorated finish.</p> <p>Breezeway (Poor): Deteriorated finish and likely deteriorated substrate.</p> <p>Southwest Porch (Fair): Deteriorated finish, loose nails and lifting at edge.</p> <p><u>Recommended Treatment(s)</u>: Consult historic metal roof specialist for advice regarding life span of main roof and breezeway. Inspect flashing at Carriage House roof. Within two years, strip and repaint roof, remove and replace sealant at gutters, and straighten standing seams of main roof.</p> <p>Continue to monitor conditions of other roofs; strip and repaint roofs at entrance bay and porches; refasten nails at roof of southwest porch.</p> <p>See 2021 HSR Part 2 Chapter 3 for further recommendations.</p> |
| Chimneys | Fig. 22 | Good | Not Rated | <p>No recorded deficiencies. Flue of Ladies' Lounge was cleaned and new caps added.</p> <p><u>Recommended Treatment(s)</u>: Remove (likely redundant) antenna on northwest chimney.</p> |
| Skylights | | Good | Not Rated | <p>No recorded deficiencies.</p> <p><u>Recommended Treatment(s)</u>: N/A</p> |

| Building/Site Element | Figures | Condition Rating | Priority Rating | Explanation/Condition Summary and Recommended Treatment(s) |
|-----------------------|--|------------------|------------------|--|
| Cornice | Fig. 23 Fig. 24 Fig. 25 Fig. 26 | Fair to Poor | Minor to Serious | <p>Main Roof: Deteriorated finish/peeling paint at metal cornice, lifting from masonry, corrosion and corrosion staining, few missing pieces from dentils and decorative corbels/brackets.</p> <p>Entrance Bay: Dent/displacement at molded section above corbels/brackets on east end.</p> <p>Southwest Porch: Deteriorated finish/peeling paint at wood cornice.</p> <p><u>Recommended Treatment(s):</u> Strip and repaint metal cornices, repair displacement/lifting along brick façade. Recommend treating cornice at main roof if and when the roof is replaced. Because scaffolding or a lift will be required, consider completing treatments to masonry simultaneously.</p> <p>Southwest Porch Cornice: Strip, sand, and repaint wood cornice and eave.</p> <p>See 2021 HSR Part 2 Chapter 3 for further recommendations.</p> |
| Downspouts | | Good to Fair | Minor | <p>Four downspouts replaced. Others appear to be in good to fair condition.</p> <p><u>Recommended Treatment(s):</u> Continue to monitor condition and proceed on current schedule/plan for replacement.</p> |
| Gutters | Fig. 27 Fig. 28 | Fair | Minor to Serious | <p>See roof conditions for discussion on gutters at main roof and front entry roof. Copper gutters at the Carriage House and the breezeway exhibit bending and displacement</p> <p><u>Recommended Treatment(s):</u> Inspect copper gutters and fasteners at the Carriage House and breezeway. Use rubber mallet to repair dents or reshape and refasten as needed. A roof and gutter specialist may recommend replacement of the breezeway gutter as that one appears most damaged. Consider replacement occur simultaneously with treatment to breezeway roof.</p> |

| Building/Site Element | Figures | Condition Rating | Priority Rating | Explanation/Condition Summary and Recommended Treatment(s) |
|-----------------------|---|------------------|------------------|--|
| Masonry Walls | Fig. 29 Fig. 30 Fig. 31 Fig. 32 Fig. 33 Fig. 34 Fig. 35 Fig. 36 Fig. 37 | Fair to Poor | Minor to Serious | <p>Overall good condition. There are areas of brick masonry that exhibit open joints, step cracking, fractured bricks, and efflorescence or staining. Stone masonry is used primarily at the window sills and lintels and at the main entry bay. Stone elements exhibit erosion/natural weathering and cracking.</p> <p><u>Recommended Treatment(s):</u> Conduct masonry repairs pertaining to each condition. Repoint areas where there are open joints, including the south façade below the third floor tripartite window and the area on the north façade, below the first floor windows. Raking of joints should be done with hand tools only, and care should be taken especially at the front entrance bay to ensure the fine mortar joints between the pressed bricks are maintained. There are several areas where step cracks occur, especially on the east façade. A structural engineer should be consulted or the step cracks and the fracture crack at the lintel on the south façade. Joints should be raked out at the crack and 12" of the crack on either side by hand. Install horizontal stainless steel reinforcement rods at joints and replace any bricks with fracture cracks. The failing patch on the lintel at the Carriage House should be removed and repatched with restoration mortar. See 2021 HSR Part 2 Chapter 3 for further recommendations.</p> |
| Windows | Fig. 38 Fig. 39 Fig. 40 | Fair to Poor | Serious | <p>Seal failure of double-glazed windows resulting in fogging of glass; deteriorated finish/peeling paint and checking at several window sills and lintels (especially on east façade); rotten window elements at first floor window on west façade of Carriage House; broken or missing louvered shutters. Several of the north porch windows are missing exterior trim pieces.</p> <p><u>Recommended Treatment(s):</u> Consult with window companies to replace non-historic wood windows with double-glazing in kind, matching existing window muntins and profiles. Replace sills with major checking; strip, sand, repair, and repaint sills with minor checking or deteriorated finish. Restore window frames and wood window lintels. Replace the entire window unit on the first floor of the west façade of the Carriage House. Repair wood shutters. Replace non-historic wood trim at north porch windows. See 2021 HSR Part 2 Chapter 3 for further recommendations.</p> |

| Building/Site Element | Figures | Condition Rating | Priority Rating | Explanation/Condition Summary and Recommended Treatment(s) |
|--------------------------|---|------------------|------------------|--|
| Exterior Doors | Fig. 41 Fig. 42 Fig. 43 | Fair | Serious | Deteriorated finishes on many doors; deteriorated lower rail at east door on south façade of Carriage House (ramp to courtyard) admits light and may be susceptible to water infiltration; plant growing through frame of door on south façade of Carriage House (garden side). <u>Recommended Treatment(s):</u> Repair lower section of Carriage House door; remove plant and monitor for regrowth. Refinish doors at southwest porch and on east façade of the main house. See 2021 HSR Part 2 Chapter 3 for further recommendations. |
| Porches | Fig. 44 Fig. 45 Fig. 46 Fig. 47 | Fair | Minor to Serious | Minor checking at painted wood; exposed and untreated wood at north porch; deflection of wood railing where previous sistering repair was made; loss of detail at column capital at southwest porch. <u>Recommended Treatment(s):</u> Refinish deteriorated finishes on north porch (especially east façade); inspect and protect exposed wood beam at north porch, refinish molding above. See 2021 HSR Part 2 Chapter 3 for further recommendations. |
| Balconies | Fig. 48 Fig. 49 Fig. 50 | Fair | Minor | Wood framing joint on the east balcony has failed and wood boards at underside of west balcony have deteriorated. Previous patches and spalling brick at anchor points on masonry wall. <u>Recommended Treatment(s):</u> Anchor points of balconies to south façade should be inspected. Monitor wood and iron elements. Keep paint coatings in good condition to protect these materials. Repair failed joint at underside of west balcony. |
| Wood Hoisting Beams | Fig. 51 | Good | Not Rated | Wood hoisting beams are covered and protected with copper coping. <u>Recommended Treatment(s):</u> N/A |
| Interior Elements | | | | |
| Wall and Wall Finishes | Fig. 52 Fig. 54 Fig. 55 Fig. 56 Fig. 58 Fig. 59 Fig. 60 | Fair | Minor | Overall good condition. Isolated areas of cracking of plaster finish; missing and peeling paint at walls, chair rails, picture moldings, wood paneling, and baseboards; joint separation, especially at baseboards, plinths at door and window surrounds. Cracking along northeast corner of Garden Room and northwest corner of South Parlor. <u>Recommended Treatment(s):</u> Prioritize treatments to cracks in Grand Stair Hall and Garden Room. See 2021 HSR Part 2 Chapter 3 for further recommendations. |

| Building/Site Element | Figures | Condition Rating | Priority Rating | Explanation/Condition Summary and Recommended Treatment(s) |
|-----------------------------------|---|------------------|------------------|---|
| Ceiling Finishes | Fig. 61 Fig. 62 Fig. 63 | Fair | Minor | <p>Overall good condition. Isolated areas showing water staining and uneven texture; ACT tiles used in Gallery and Meeting Room.</p> <p><u>Recommended Treatment(s):</u> Repaint ceiling on third floor showing staining from heat pump. Consider replacement of existing ACT tile with more aesthetically pleasing ceiling panel system. See 2021 HSR Part 2 Chapter 3 for further recommendations.</p> |
| Floor Finishes | Fig. 64 Fig. 65 Fig. 66 | Fair | Minor | <p>Missing/worn finish in some areas, especially at thresholds on third floor and several areas of second floor; several spongy areas throughout.</p> <p><u>Recommended Treatment(s):</u> Monitor spongy areas. Where damage to the flooring occurs on the third floor, the flooring should be stripped, the polyurethane removed, and the floors sanded only to the extent necessary to remove mechanical damage to the floor boards in those areas. Sanding the floors presents challenges because 1/8" or more of wood surface may be removed in the process, and damaging the tongue and groove joints of the floorboards and resulting in the need to replace the floors. Consult a hardwood floor specialist. Carpet on third floor is worn and may be replaced. See 2021 HSR Part 2 Chapter 3 for further recommendations.</p> |
| Stairs | Fig. 67 Fig. 68 Fig. 69 Fig. 70 | Fair | Minor to Serious | <p>Cracked paint, joint separation, staining, loss of finish; uneven and stained finishes at opening of closet below main stair on second floor where door was altered to install heat pump.</p> <p><u>Recommended Treatment(s):</u> Repair plaster and wood trim at closet opening and repaint door. Smooth and repaint notch at new hinge. See 2021 HSR Part 2 Chapter 3 for further stair treatment recommendations.</p> |
| Fireplaces | Fig. 71 Fig. 72 | Fair | Minor | <p>Overall good condition. Settlement of third floor northeast office fireplace. Minor cracking or gouging at corners at other locations.</p> <p><u>Recommended Treatment(s):</u> Continue to monitor and address settlement at third floor fireplace.</p> |
| Interior Door and Window Elements | Fig. 53 Fig. 57 Fig. 73 Fig. 74 Fig. 75 | Fair | Minor | <p>Loss of paint, joint separation especially at headers and jambs, cracking, loss of molding profile, mechanical damage, damaged or inconsistent hardware.</p> <p><u>Recommended Treatment(s):</u> See 2021 HSR Part 2 Chapter 3 for recommendations to treat joint separation. Split panels at window aprons on third floor should be replaced in kind. Repair and repaint damage to head of pocket door opening between the dining room and north parlor. See 2021 HSR Part 2 Chapter 3 for further stair treatment recommendations. Recommend treatments to interior window elements as windows are replaced.</p> |

| Building/Site Element | Figures | Condition Rating | Priority Rating | Explanation/Condition Summary and Recommended Treatment(s) |
|---|---------|------------------|-----------------|---|
| Cast Iron Columns | N/A | Good | Not Rated | No recorded deficiencies. |
| Light Fixtures | N/A | Good | Not Rated | No recorded deficiencies. |
| Building Systems (Were not reassessed as part of the 2024 HSR Update, 2021 information included below) | | | | |
| HVAC Space Conditioning | N/A | Fair | Minor | Continued failure and need for repair and replacement of heat pumps. |
| HVAC System Heating | N/A | Good | Not Rated | Heating system is not problematic other than overall space conditioning condition noted above |
| HVAC System Cooling | N/A | Good | Not Rated | Cooling system is not problematic other than overall space conditioning condition noted above |
| Water Source Heat Pump Piping | N/A | Poor | Serious | PVC piping is brittle and fails causing water leaks and damage to building and finishes |
| Kitchen HVAC Equipment | N/A | Good | Not Rated | No recorded deficiencies |
| Plumbing Piping | N/A | Good | Not Rated | No recorded deficiencies |
| Power | N/A | Good | Not Rated | No recorded deficiencies |

Treatment Recommendations by Priority Level

High-Level (Serious) Priority Treatment Recommendations (1-5 years)

Roof/Gutters/Cornice:

- Inspect main roof to determine life expectancy (within 2 years). Repair or replace depending on roof inspection. Minimum for repair: strip and repaint terne-coated roof, straighten seams, remove and replace sealant at gutters.
- Inspect and repair breezeway roof. Same treatment as above. Inspect breezeway gutter and fasteners, repair dents, and consider replacement of gutter in this section.
- Inspect flashing on the Carriage House at the gutter.
- Inspect, strip, and repaint roof at front entry bay.
- Inspect, strip, and repaint cornice at main roof. Ensure cornice is flush against masonry façade. Recommend coordinating repairs to cornice when roof is repaired/replaced.

Windows:

- Replace entire window (including frame) on west façade of Carriage House. Inspect other two first-floor windows on west façade of the Carriage House for moisture damage and replace window headers as needed. Reseal joints between windows and masonry openings.
- Replace/restore wood sills and lintels, restore frames, replace window sashes at Main House (east façade is first priority). Restore interior window elements as windows are replaced.

Masonry:

- Repoint open joints, especially at south and north façades of main house and east façade of Carriage House.
- Redo failed patch at masonry lintel at Carriage House with restoration mortar.
- Replace missing brick below gutter of Carriage House to ensure façade is sealed against water intrusion.
- Continue to monitor step cracks and consult structural engineer if additional cracking occurs.

Doors:

- Repair lower section of east door on south façade of the Carriage House (facing ramp to courtyard) to ensure water does not infiltrate.
- Refinish door at southwest porch/Garden Room and door on east façade.

Porches:

- Refinish/restore deteriorating finishes and replace missing and detached window trim at north porch.
- Protect exposed wood beam on east side of north porch.

Stairs:

- Repair finishes at closet below main stair on first floor.
- Refinish exterior south stair handrail.
- Refinish or replace exterior stair to southwest porch.

Front Retaining Walls:

- Repoint open and failed joints at coping stones; repoint open joints at wall; continue to monitor lean at wall; consult landscape architect and/or structural engineer to consider options for monitoring and addressing deflection from hydrostatic pressure and add reinforcement rods at areas of step cracking.

Moderate to Low Level (Minor) Priority Treatment Recommendations (5-10 years)**Recommended Treatments to the following elements:**

- Exterior Stairs - Replace bottom step of east stair.
- Garden Walls - Repoint coping stones, replace flashing and roof of area adjacent to southwest porch, address step cracks.
- Chimneys - Remove redundant antenna on northwest chimney.
- Cornice - Refinish wood cornice at southwest porch.
- Masonry - Repair step cracks.
- Balconies - Inspect anchor points, repair wood elements.
- Interior Walls and Finishes - Repair cracks, especially at Stair Hall and Garden Room.
- Interior Ceilings and Finishes - Repaint stained areas, replace existing ACT tile ceilings.
- Interior Floors and Finishes - Refinish wood floors and thresholds.
- Fireplaces - Monitor settlement at northeast fireplace on third floor and address if worsens.
- Door and Window Elements and Finishes - Repair and refinish split wood panels at window aprons on third floor and separation at joints in Garden Room. (Repair sooner as windows if/when windows are replaced.)

Recurring Treatment Recommendations (Monitored and Addressed on an Annual Basis)

- Front Paving
- Garden and Courtyard Paving
- Garden and Courtyard Drainage
- Downspouts and Gutters - regular maintenance; proceed with plan for downspout replacement.
- Building HVAC System
- Exterior Light Fixtures

Site Photographs



Fig. 1 [Top Left]
Retaining wall on south façade is leaning from hydrostatic pressure. Continue to monitor. [BBB, 2024]



Fig. 2 [Top Left]
Retaining wall on south façade has areas that require repointing and step cracks that should be repaired. [BBB, 2024]



Fig. 3 [Left] Open joint at coping stone at retaining wall. [BBB, 2024]



Fig. 4 [Right] Failed joint at coping stone of retaining wall. [BBB, 2024]



Fig. 5 [Left] Erosion and existing patches to be monitored at front steps. [BBB, 2024]



Fig. 6 [Right] Fracture crack and displacement of bottom step at east stair. [BBB, 2024]

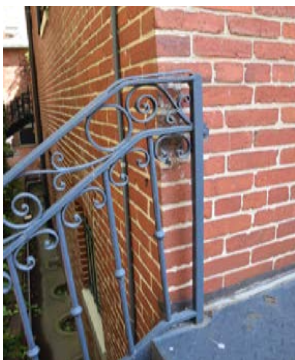


Fig. 7 [Lower Left] Split in handrail at southwest porch stair. [BBB, 2024]

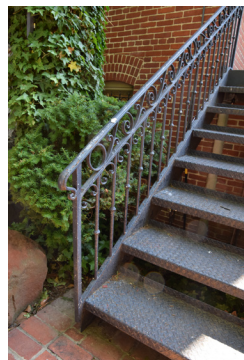


Fig. 8 [Center] Deteriorated finish at handrail of southwest stair. [BBB, 2024]

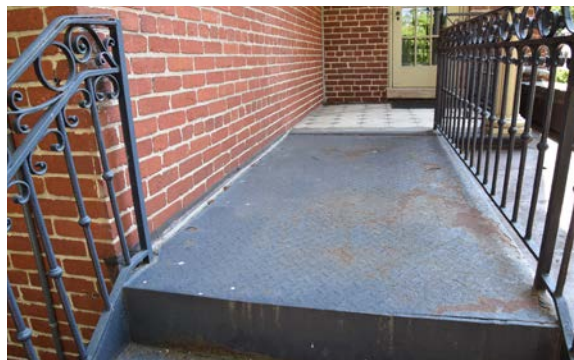


Fig. 9 [Lower Right] Deteriorated finish and corrosion at southwest stair. [BBB, 2024]

Fig. 10 [Top Left]
Loose bricks at
landing of east
stair. [BBB, 2024]



Fig. 11 [Top Right]
New masonry but-
tresses supporting
south garden wall.
[BBB, 2024]



Fig. 12 [Left]
Failing mortar at
coping stone of
garden wall. [BBB,
2024]



Fig. 13 [Right]
Step crack in
brick wall at ADA
entrance below
southwest porch.
[BBB, 2024]



Fig. 14 [Left]
Newly installed
drain along west
side of the Car-
riage House. [BBB,
2024]



Fig. 15 [Right]
Minor corrosion
at light fixtures
to be monitored
and spot painted
as needed. [BBB,
2024]



Fig. 16 [Lower
Left] Wrought iron
lantern latches
have been repaired.
Iron work should
be monitored and
spot painted as
needed. [BBB,
2024]



Exterior Photographs



Fig. 17 [Top Left]
Southwest corner of the roof and vented skylight. [BBB, 2024]



Fig. 18 [Top Right]
West edge of the roof with new strainer box. [BBB, 2024]



Fig. 19 [Left] Detail of roof showing deterioration of paint and flattened seams. [BBB, 2024]



Fig. 20 [Right] Detail of roof gutter showing deterioration of sealant at joints. [BBB, 2024]



Fig. 21 [Left] Carriage House roof view from Main House. [BBB, 2024]



Fig. 22 [Right] Southeast chimney with new caps. [BBB, 2024]



Fig. 23 [Lower Left] Deteriorated finish of cornice and missing dentil below. [BBB, 2024]



Fig. 24 [Lower Right] Deteriorated finish of cornice and missing portion of decorated corbel. [BBB, 2024]

Fig. 25 [Top Left]
Bent section of
cornice at entrance
bay on right. [BBB,
2024]



Fig. 26 [Top Right]
Loose nails at
roofing or flashing
material of south-
west porch. [BBB,
2024]



Fig. 27 [Left]
Displaced and bent
copper flashing at
the copper gutter
on the Carriage
House. [BBB,
2024]



Fig. 28 [Right]
Bent gutter and
displaced fasteners
at breezeway.
[BBB, 2024]



Fig. 29 [Left]
Step crack below
window on east
façade. [BBB,
2024]

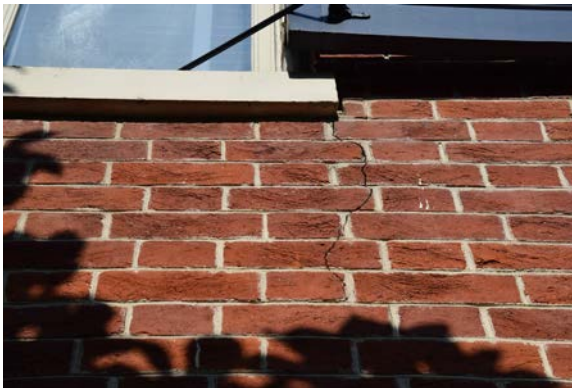


Fig. 30 [Right]
Crack above lintel
which continues as
step crack above
on east façade.
[BBB, 2024]



Fig. 31 [Lower
Left] Fracture
crack at lintel and
step crack above
on south façade.
[BBB, 2024]



Fig. 32 [Lower
Right] Open joints
above front en-
trance bay. [BBB,
2024]





Fig. 33 [Top Left]
Open joints at
pressed brick at
front entrance bay.
[BBB, 2024]



Fig. 34 [Top Right]
Open joints at
brick below meet-
ing room window
on north façade.
[BBB, 2024]



Fig. 35 [Left]
Sandstone at front
bay exhibits ero-
sion and should be
monitored. [BBB,
2024]



Fig. 36 [Left]
Failed patch at
lintel of Carriage
House should be
repatched with
restoration mortar.
[BBB, 2024]



Fig. 37 [Left] Miss-
ing brick resulting
in an opening
below the gutter
on the southeast
façade of the Car-
riage House. [BBB,
2024]



Fig. 38 [Right]
Rotten window sill
on the first-floor
window on the
west façade of the
Carriage House.
[BBB, 2024]



Fig. 39 [Lower
Left] Deteriorated
finish and minor
checking at the
wood window sill
and lintel on the
east façade. [BBB,
2024]



Fig. 40 [Lower
Right] Deteriorated
finish and minor
checking at wood
window sill and
fogging at glazing
of window on
east façade. [BBB,
2024]

Fig. 41 [Top Left]
Deteriorated finish
at wood door on
east façade. [BBB,
2024]



Fig. 42 [Top Right]
Damage at lower
and side rail of
east door on south
façade of Carriage
House. Light can
be seen coming
in from the exte-
rior and the door
should be repaired
so water does not
infiltrate. [BBB,
2024]



Fig. 43 [Center
Left] Plant growing
out of transom
window above
western door on
south façade of the
Carriage House.
[BBB, 2024]



Fig. 44 [Lower
Right] Southwest
porch showing
minor deteriora-
tion of finish. [BBB,
2024]



Fig. 45 [Lower
Left] North porch
showing minor
deterioration of
finish and missing/
detached window
trim. [BBB, 2024]





Fig. 46 [Top Left] Exposed wood beam at east façade of north porch, deteriorated finish at wood elements above. [BBB, 2024]



Fig. 47 [Top Right] Deteriorated finish at wood cornice of north porch. [BBB, 2024]



Fig. 48 [Left] Deteriorated wood boards at underside of west balcony on south façade. [BBB, 2024]



Fig. 49 [Right] Spalling brick where balcony attaches to wall. [BBB, 2024]



Fig. 50 [Lower Left] Separating joint at frame of east balcony on south façade. [BBB, 2024]



Fig. 51 [Lower Right] Newly installed copper flashing protects wood hoisting beams at Carriage House. [BBB, 2024]

Interior Photographs

Fig. 52 [Top Left]
Garden Room corner crack in plaster wall panel and gouging at picture frame molding.
[BBB, 2024]



Fig. 53 [Top Right]
Deteriorated finish at Garden Room door and jamb.
[BBB, 2024]



Fig. 54 [Lower Left]
Joint separation and deteriorated finish at window jambs and baseboard in Garden Room.
[BBB, 2024]



Fig. 55 [Lower Right]
Garden Room corner showing vertical crack, which has been painted.
[BBB, 2024]





Fig. 56 [Top Left]
Hairline cracks at
corners of Gallery
pilasters. [BBB,
2024]



Fig. 57 [Top Right]
Deteriorated finish
and signs of wear
at pocket door
opening on second
floor. [BBB, 2024]



Fig. 58 [Right]
Hairline crack in
plaster ceiling and
wall panel in North
Parlor. [BBB, 2024]



Fig. 59 [Lower
Left] Separation at
crown molding and
vertical crack at
northwest corner
of South Parlor.
[BBB, 2024]



Fig. 60 [Lower
Right] Large crack
on east wall of
Grand Stair Hall.
[BBB, 2024]

Fig. 61 [Top Left]
Staining at ceiling
finishes on third
floor. [BBB, 2024]



Fig. 62 [Top Right]
Bubbling of ceiling
finish in Grand
Stair Hall. [BBB,
2024]



Fig. 63 [Middle
Left] ACT tile
ceiling and recently
installed lighting
for display of Tangier
Legation door in
Meeting Room.
[BBB, 2024]

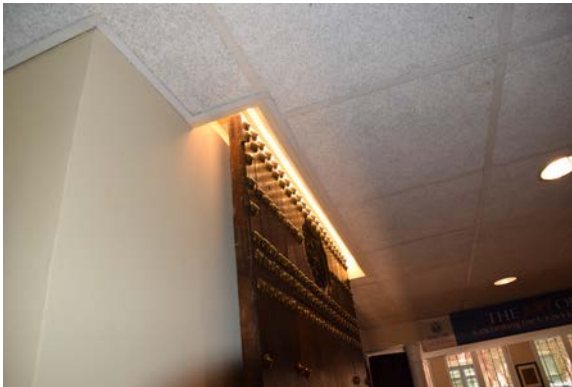


Fig. 64 [Middle
Right] Loss of
finish on wood
threshold at third
floor. [BBB, 2024]



Fig. 65 [Bottom
Left] Worn finish
at wood floors in
Dining Room.
[BBB, 2024]



Fig. 66 [Bottom
Right] Newly
installed Tangier
Legation door sits
in the floor of the
Meeting Room.
[BBB, 2024]

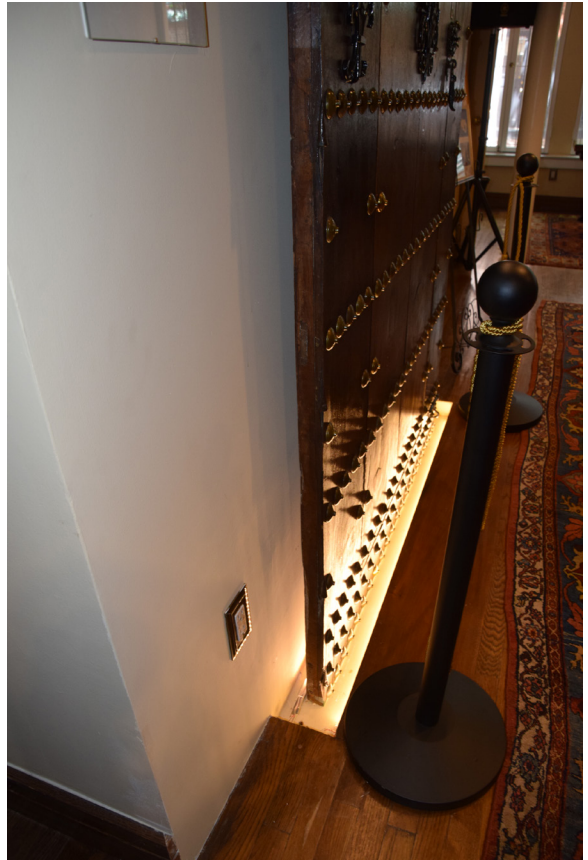




Fig. 67 [Top Left]
Stair conditions ascending to fourth floor. Stairs slope slightly away from wall and should be monitored. [BBB, 2024]



Fig. 68 [Top Right]
Outer stair conditions ascending to fourth floor. Split stair nosing in lower left corner and overpaint on tread above [BBB, 2024]



Fig. 69 [Left]
Panel below stair cut to allow access to heat pump [BBB, 2024]



Fig. 70 [Right]
Underside of stair and panel below stair to be repaired. [BBB, 2024]

Fig. 71 [Top Left]
Settling of fireplace in northeast office on third floor. [BBB, 2024]



Fig. 72 [Top Left]
Cracked hearth bricks of fireplace in northeast office on third floor; functional hearth screen. [BBB, 2024]



Fig. 73 [Lower Left]
Split in panel at window apron on third floor. [BBB, 2024]

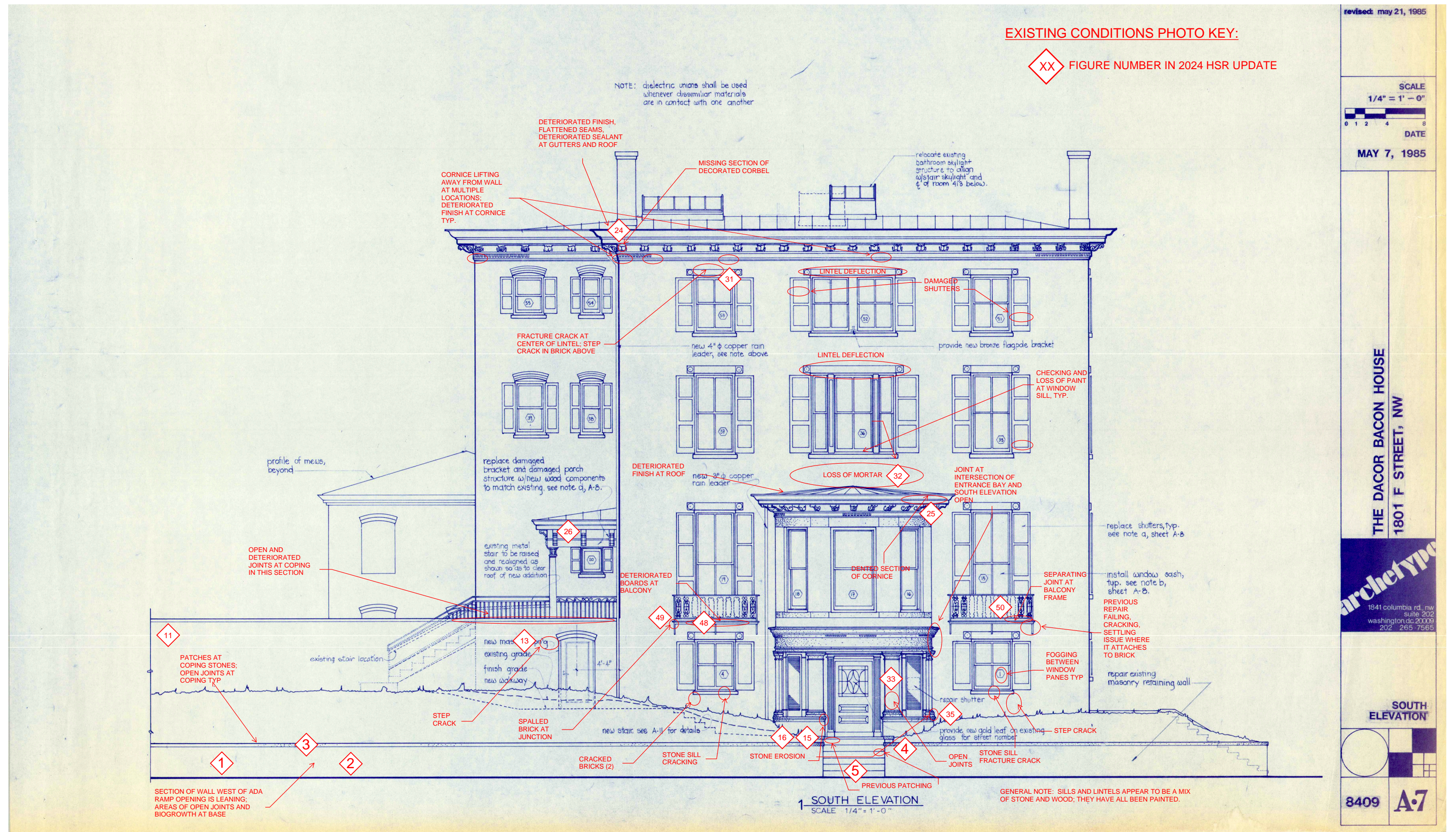


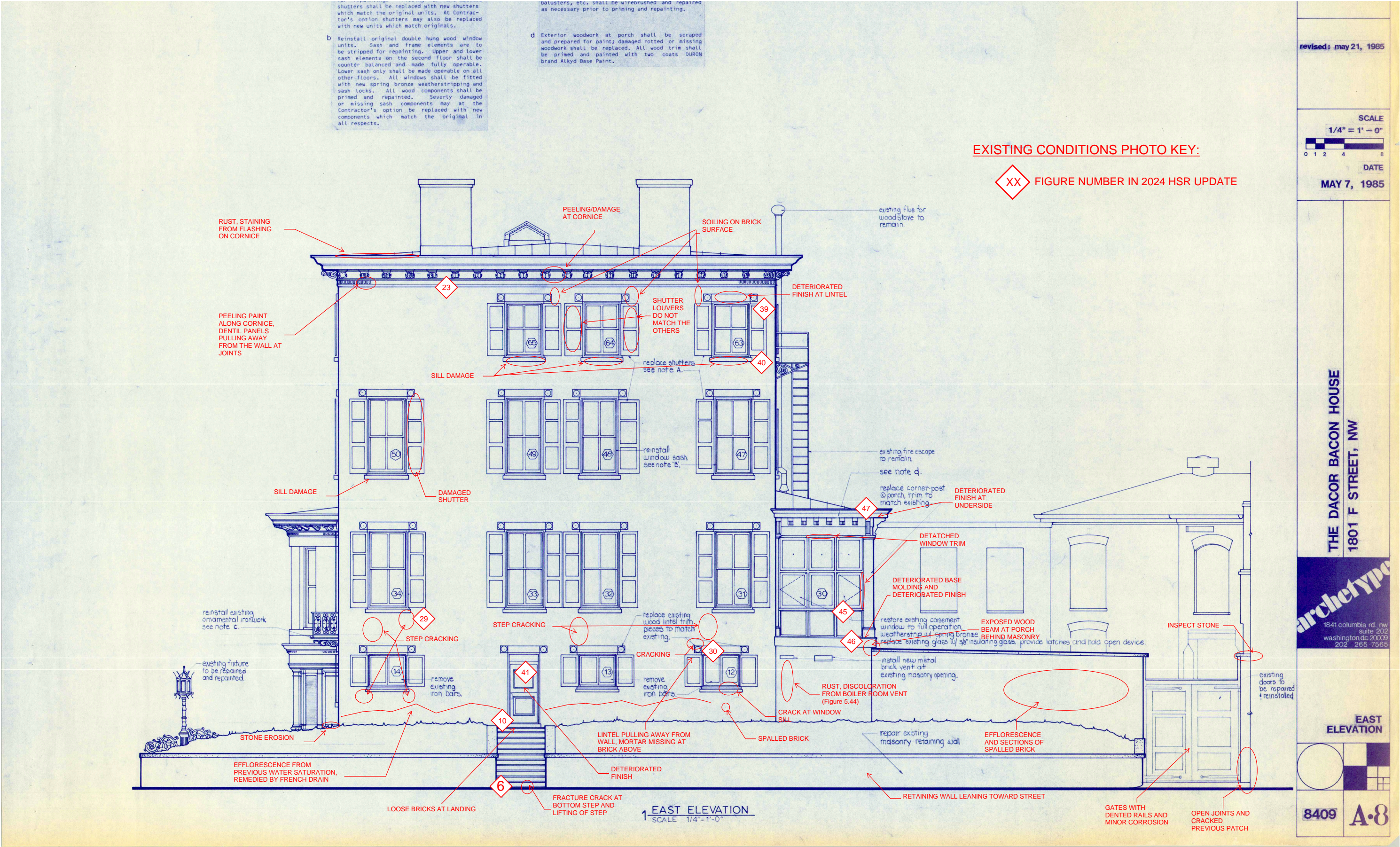
Fig. 74 [Center Right]
Separation of joints at window apron on third floor. [BBB, 2024]

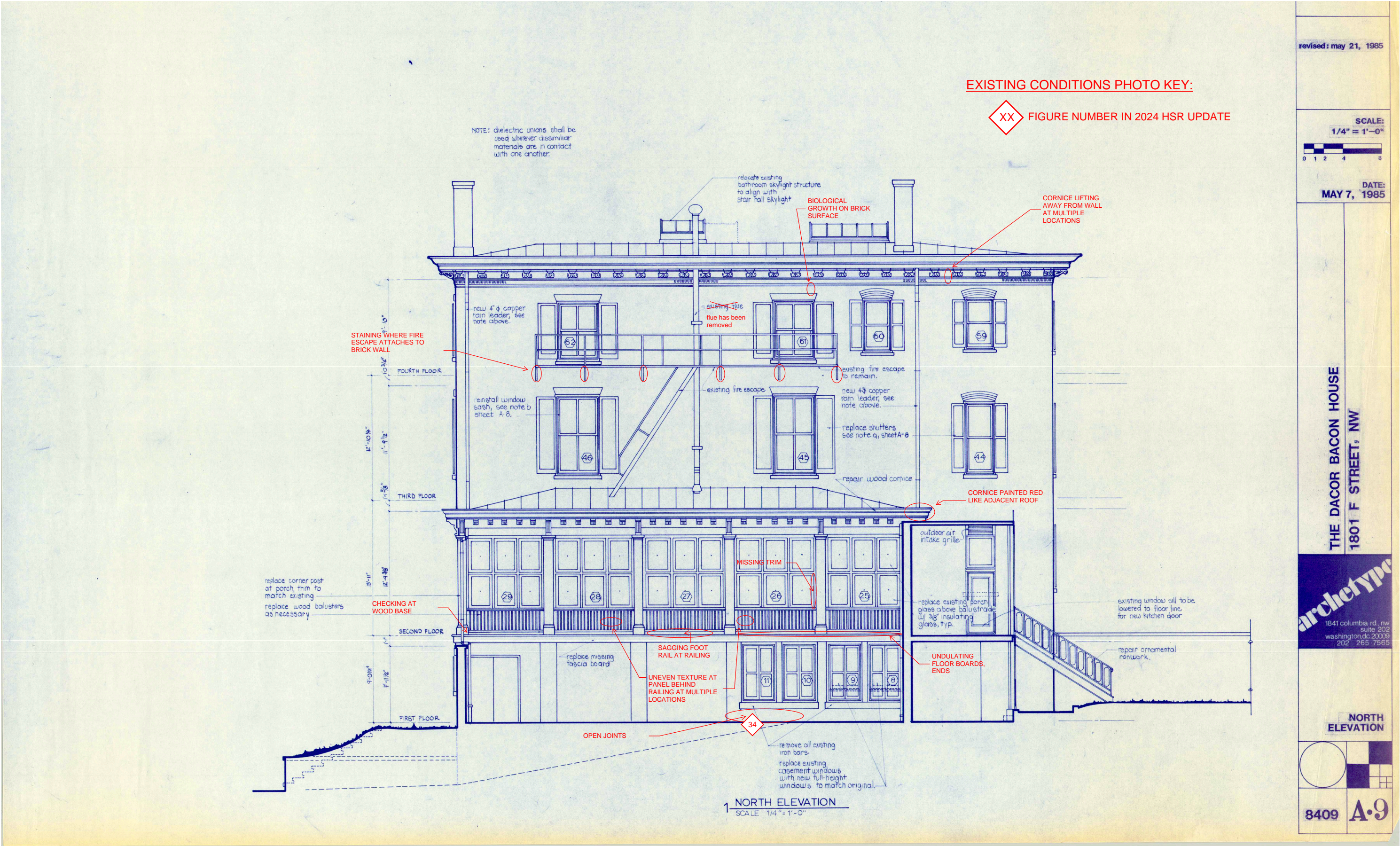
Fig. 75 [Lower Right]
Loss of finish and separation of joints at window opening in center office on third floor. [BBB, 2024]

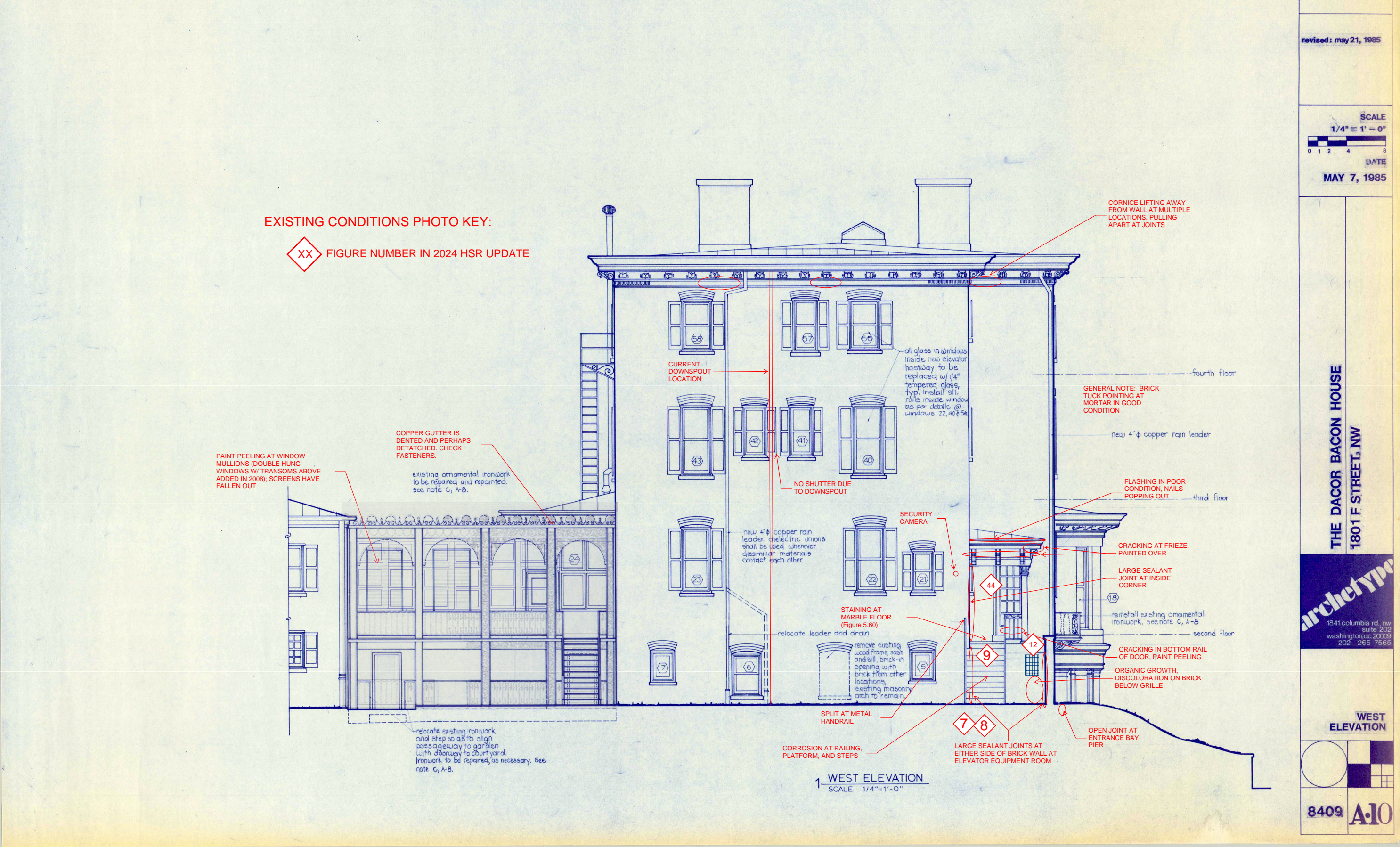


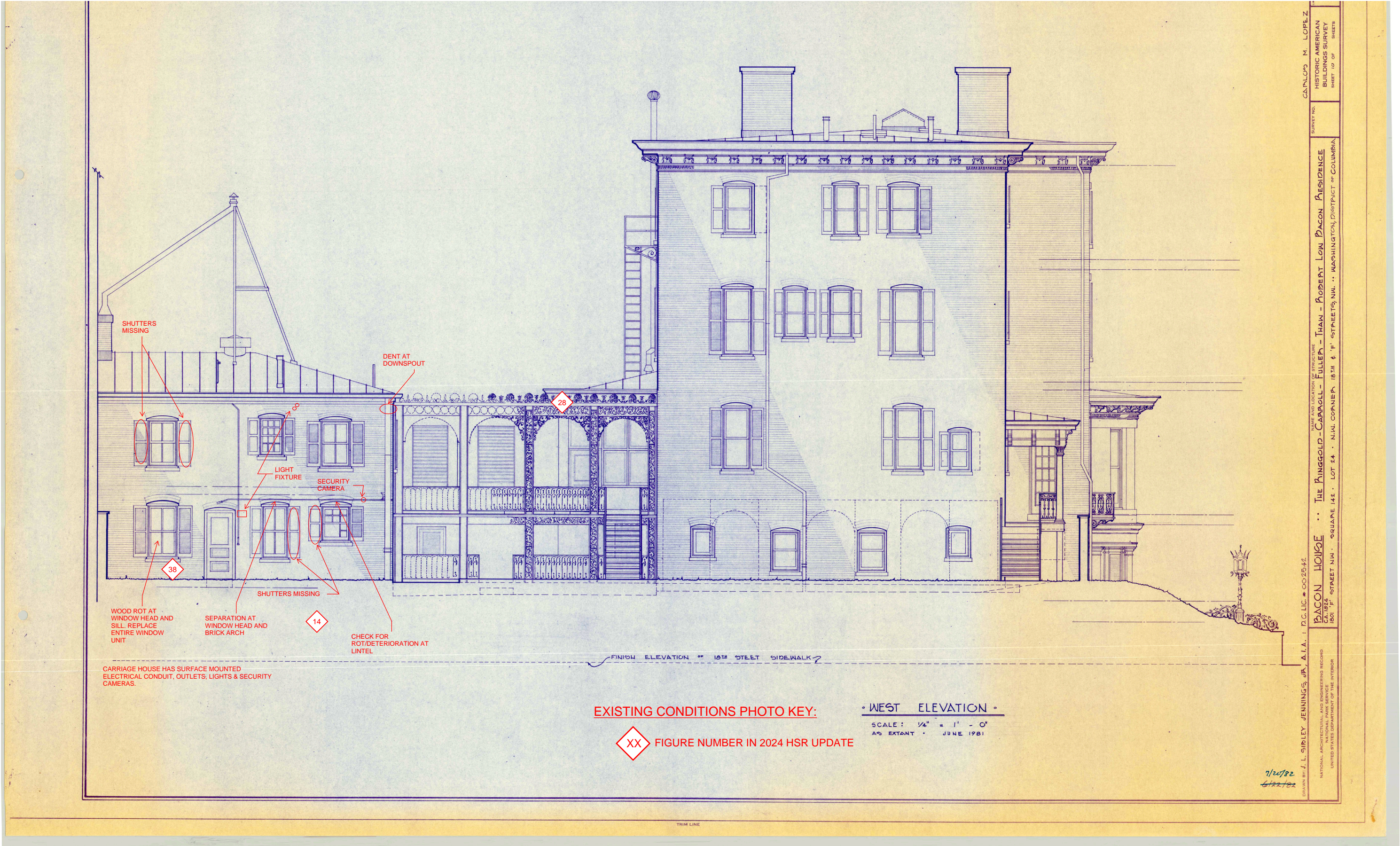
ELEVATION AND PLAN DRAWINGS WITH FIGURE NUMBER TAGS

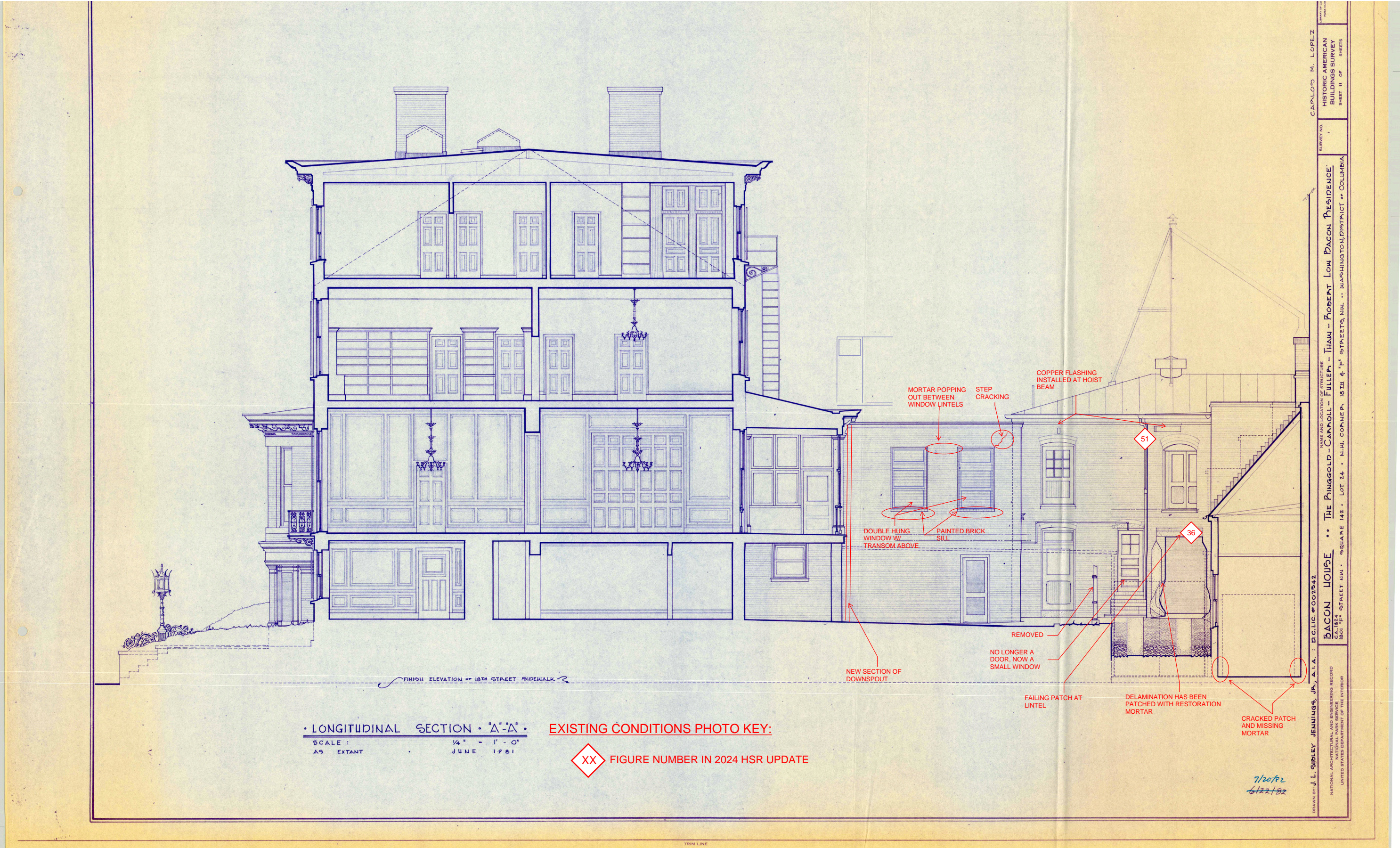


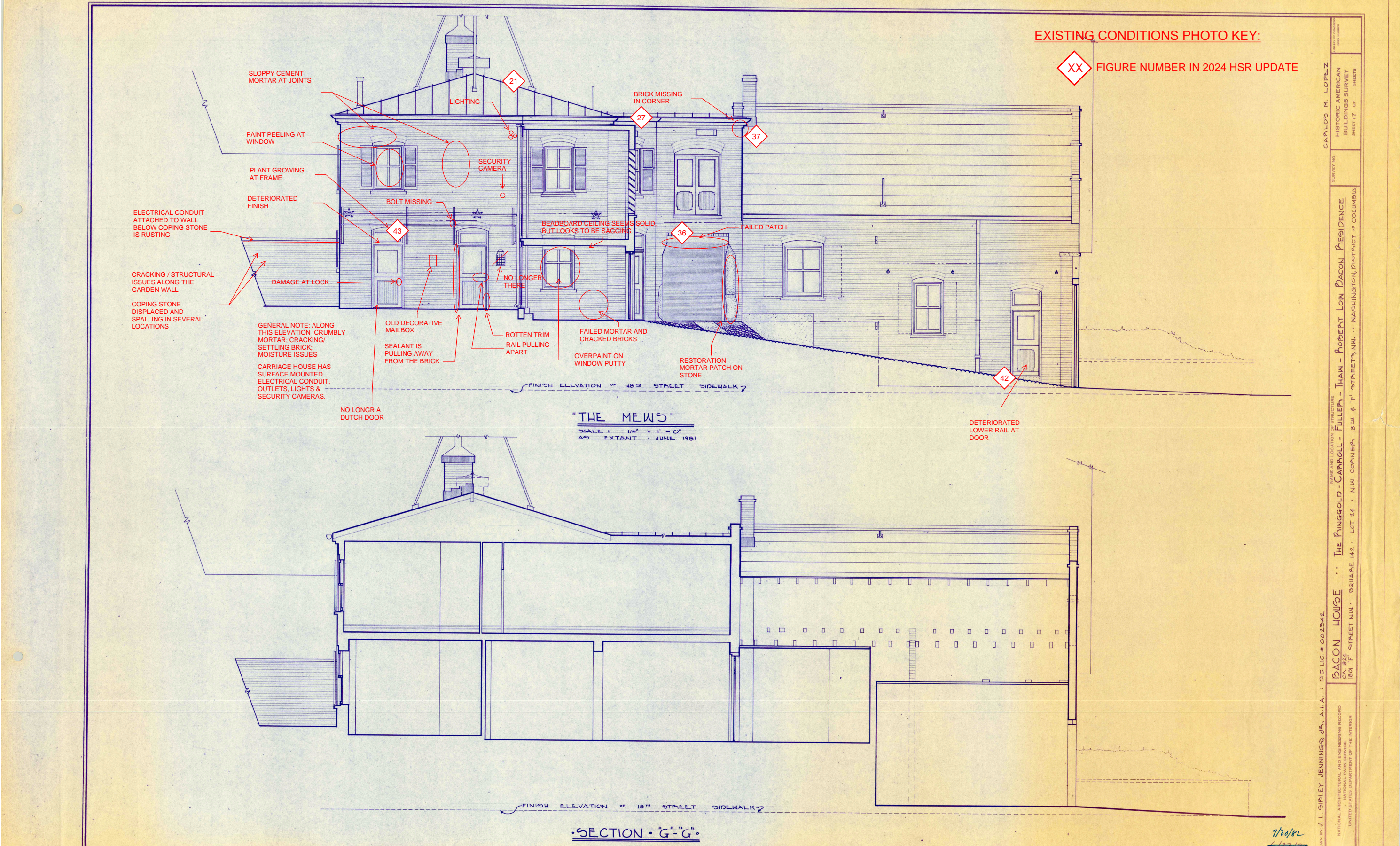












CARLOS M. LOPEZ
HISTORIC AMERICAN
BUILDINGS SURVEY
SHEET 17 OF 17

SURVEY NO.
NAME AND LOCATION OF STRUCTURE
BACON HOUSE
THE PINGGOLD-CARROLL - FULLER - THAW - ROBERT LOW BACON RESIDENCE
CA. 1824
1801 F STREET NW
SQUARE 142
LOT 24
N.W. CORNER
18TH & F STREETS, NW
WASHINGTON, DISTRICT OF COLUMBIA

DATE
BY
J. L. SIPLEY
JENNINGS, JR., A.I.A.
P.C. LIC. # 002542

NATIONAL ARCHITECTURAL AND ENGINEERING RECORD
NATIONAL PARK SERVICE
UNITED STATES DEPARTMENT OF THE INTERIOR

FINISH SCHEDULE

| Rm. No. | Ceiling | Floor | Base | Crown | Walls and Partitions | | | | Remarks |
|---------|-------------------|------------------|----------------|-------------|----------------------|-----|-----|-----|--|
| | | | | | N | S | E | W | |
| 100 | 5/8" F.C. drywall | slate | type A | none | D | E | E | E/C | see section I, A-11, for dry profile base to be built in white oak w/br finish |
| 101 | 5/8" W.R. drywall | ceramic tile | type B | none | D | D | D | E | |
| 102 | 5/8" F.C. drywall | carpet | type B | none | E | D | D | E | |
| 103 | 5/8" W.R. drywall | pointed concrete | type B | none | D | E | E | D | |
| 104 | 5/8" F.C. drywall | see remarks | type B | none | E | E | E | D | Floor to be marble tile similar to hearth @ 106 |
| 105 | 5/8" F.C. drywall | carpet | type A | none | C | — | C | C | |
| 106 | 5/8" F.C. drywall | carpet | type A/C | none | — | C | — | C | STRIP ALL PLASTER FROM EAST WALL. |
| 107 | 5/8" F.C. drywall | paint exist and | none | none | — | — | — | — | point existing + new floor, wall + ceiling finishes |
| 108 | 5/8" F.C. drywall | paint exist and | none | none | — | — | — | — | point existing + new floor, wall + ceiling finishes |
| 109 | 5/8" F.C. drywall | brick pavers | none | none | — | A | A | A | point brick throughout |
| 110 | 5/8" F.C. drywall | carpet | type A/C | none | E | C | E | — | STRIP ALL PLASTER FROM WEST WALL. |
| 111 | 5/8" F.C. drywall | ceramic tile | type B | none | C | D | C/E | D | ceiling on suspended grid |
| 112 | 5/8" F.C. drywall | hardwood | match original | none | D | E | E | C | |
| 113 | 5/8" F.C. drywall | carpet | match original | none | C | D | D | C | ceiling on suspended grid |
| 114 | 5/8" F.C. drywall | hardwood | exist. | exist. wood | B | B | B | B | SEE NOTE 4, carpet runner |
| 115 | 5/8" F.C. drywall | carpet | original | none | C | C/D | C | C | ceiling on suspended grid |
| 116 | repair plaster | repair exist. | none | none | A | A | A | A | SEE NOTE 4 |
| 117 | 5/8" F.C. drywall | hardwood | match original | none | D | E | C | E | |
| 118 | 5/8" F.C. drywall | carpet | match original | none | C | D | D | D | ceiling on suspended grid |
| 119 | 5/8" F.C. drywall | ceramic tile | type B | none | C | D | D | C/D | ceiling on suspended grid |
| 120 | 5/8" F.C. drywall | pointed concrete | none | none | A | A | A | A | exposed masonry to be painted |
| 121 | 5/8" W.R. drywall | slate | 4" slate | none | — | A | — | — | north, east and west walls to be portland cement stucco. |
| 122 | 5/8" W.R. drywall | slate | 4" slate | none | — | A | — | — | |

NOTE: 1. Where existing wood joists will not provide a true and level surface for adhering new drywall ceilings, the joists shall be sistered w/ sheet metal stud runners to provide a suitable surface. suspended metal grid systems are not acceptable at this floor.
2. For base details, see A-14.
3. For type C base, see base at cabinetry details, A-13.

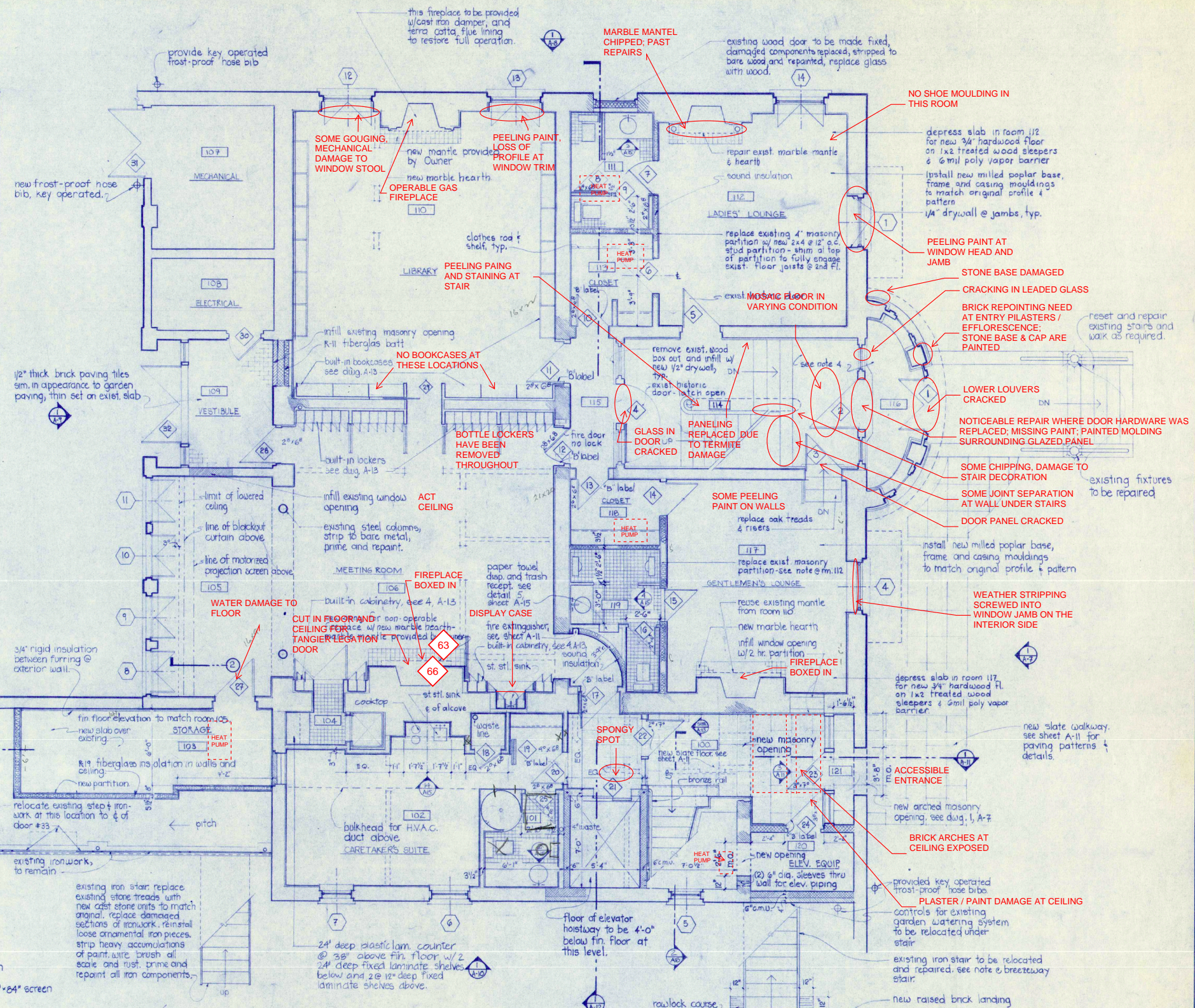
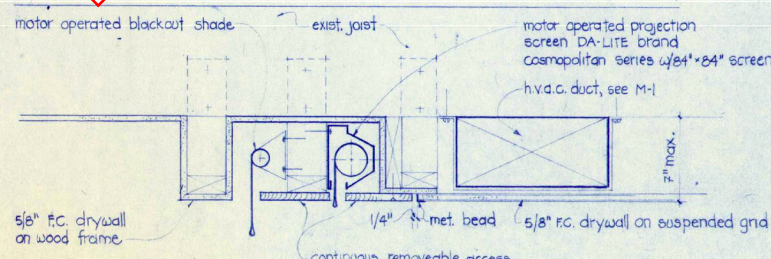
WALL FINISH KEY

- A. Exposed masonry.
B. Repair existing plaster.
C. 3/8" drywall laminated to existing plaster (1/4" may be used where wall conditions permit).
D. 1/2" drywall on wood studs @ 16" o.c. (except as noted).
E. 1/2" drywall on 3/4" furring strips @ 16" o.c.
F. 2 layers 5/8" Fire Code drywall.

NOTE: Water resistant drywall (green board) shall be used in all wet or exterior areas.

EXISTING CONDITIONS PHOTO KEY:

XX FIGURE NUMBER IN 2024 HSR UPDATE



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"

- note: 1. All existing ceilings at this level to be removed except at room 107 and 108.
2. Break up existing brick and concrete floor (except at room 103, 108 & 109) and excavate to allow for 4" of crushed stone, 6 mil poly vapor barrier, 3/4" extruded polystyrene rigid insulation, and 1/2" concrete.
3. All exterior walls which are to receive new drywall on furring strips, shall be insulated with 3/4" rigid insulation between the furring strips.
4. All woodwork in designated areas shall be stripped with brass and stainless steel brushes.

revised: may 21, 1985

SCALE
1/4" = 1' - 0"

DATE
MAY 7, 1985

THE DACOR BACON HOUSE
1801 F STREET, NW

archetype
1841 columbia rd. nw, suite 202
washington dc 20009
202 265-7565

FIRST FLOOR PLAN

FINISH SCHEDULE

[illegible]

NOTE: for base details, see A-14

WALL FINISH KEY

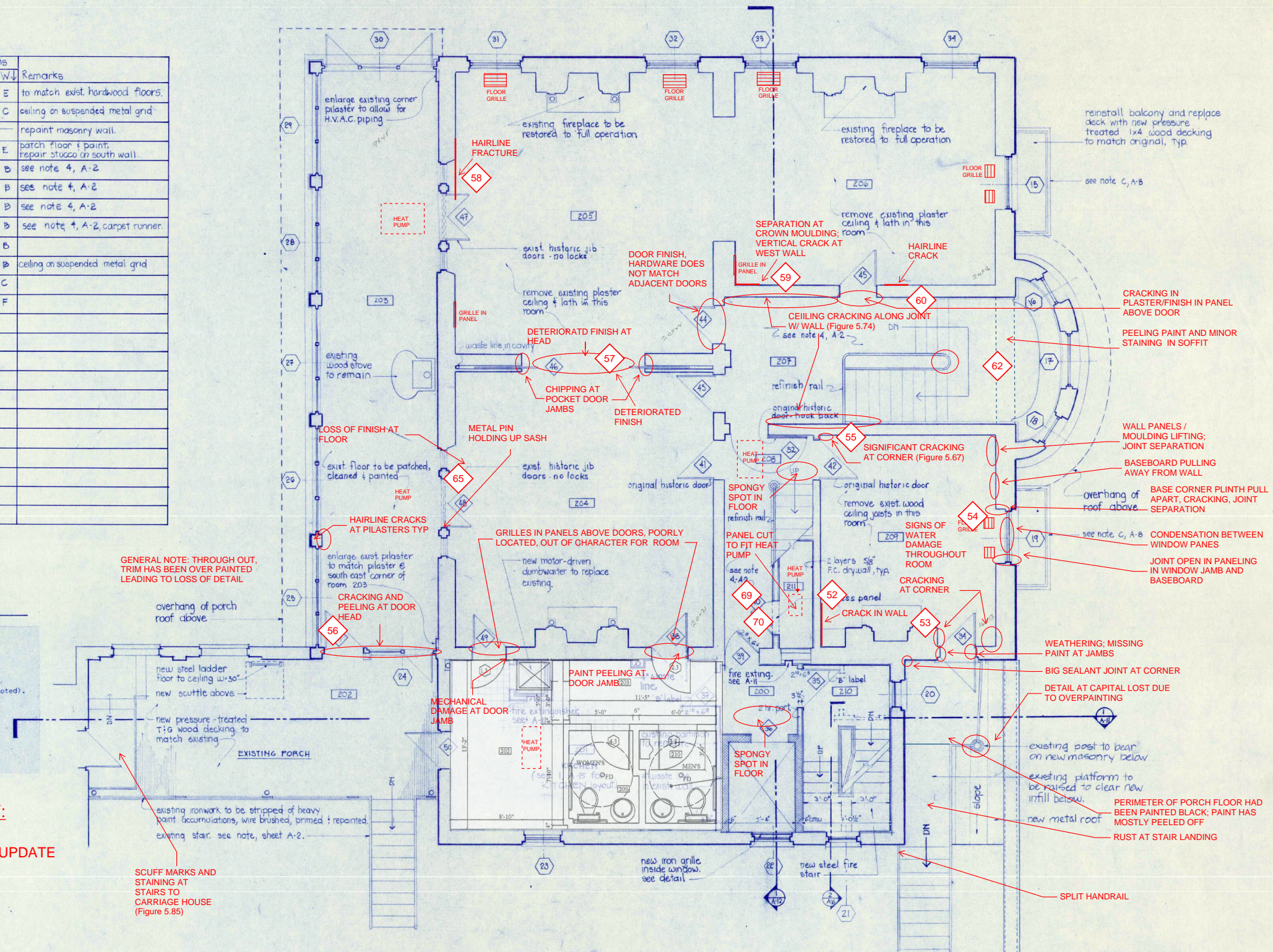
- A. Exposed masonry.
- B. Repair existing plaster.
- C. 3/8" drywall laminated to existing plaster (1/4" may be used where wall conditions permit).
- D. 1/2" drywall on wood studs @ 16" o.c. (except as noted)
- E. 1/2" drywall on 3/4" furring strips @ 16" o.c.
- F. 2 layers 5/8" Fire Code drywall.

NOTE: Water resistant drywall (green board) shall be used in all wet or exterior areas.

EXISTING CONDITIONS PHOTO KEY:


XX FIGURE NUMBER IN 2024 HSR UPDATE

SCUFF MARKS AND STAINING AT STAIRS TO CARRIAGE HOUSE (Figure 5.85)



revised: may 21, 1985

SCALE
1/4" = 1'-0"



0 1 2 4 8 ft.

DATE _____

MAY 7, 1985

THE DACOR BACON HOUSE
1801 F STREET, NW

archetype
1841 columbia rd., nw
suite 202
washington, dc 20009
202 265 7565

SECOND FLOOR PLAN

THIRD FLOOR PLAN

FINISH SCHEDULE

[illegible]

NOTE: for base details, see A-14.

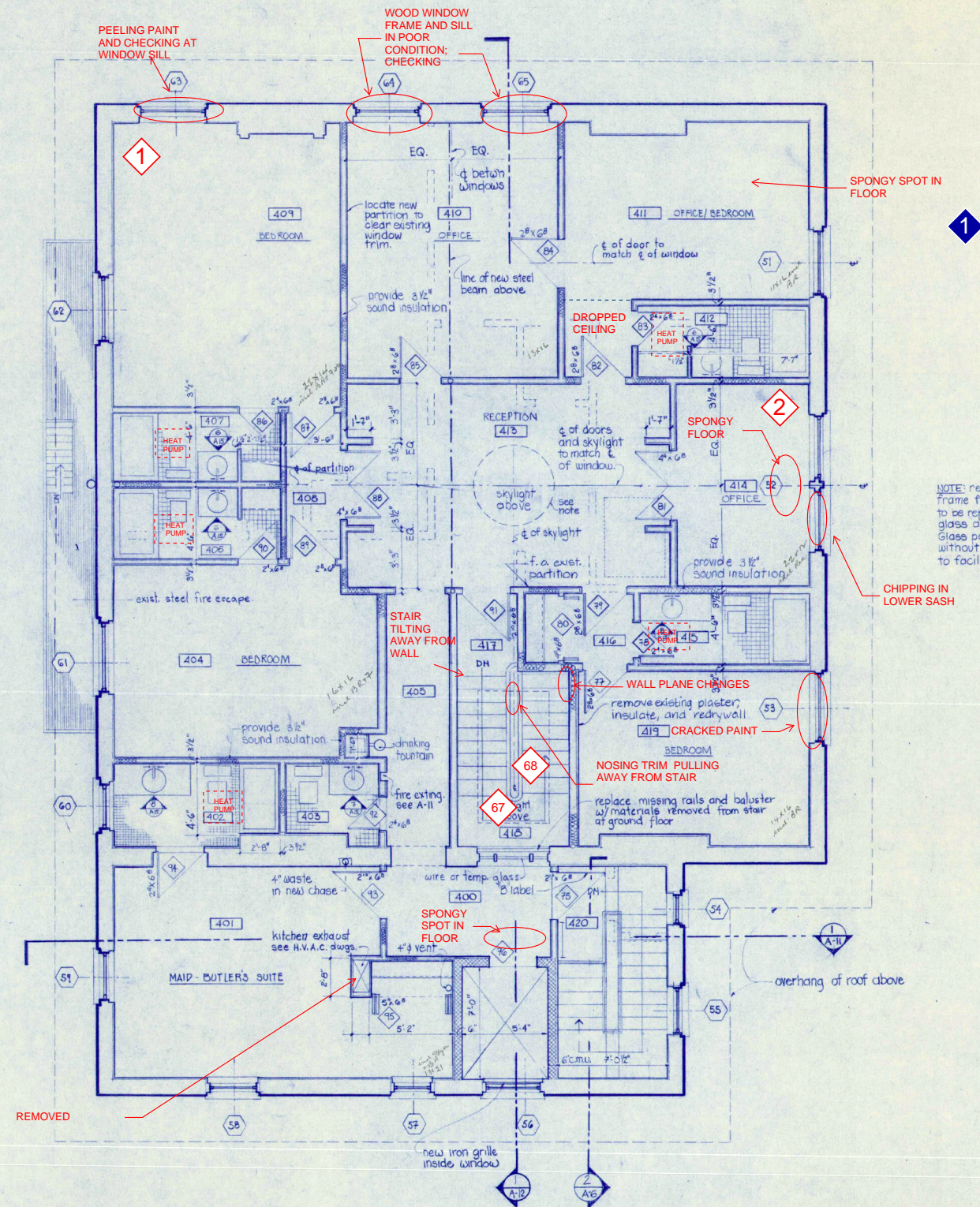
WALL FINISH KEY

- A. Exposed masonry.
- B. Repair existing plaster.
- C. 3/8" drywall laminated to existing plaster (1/4" may be used where wall conditions permit).
- D. 1/2" drywall on wood studs @ 16" o.c. (except as noted).
- E. 1/2" drywall on 3/4" furring strips @ 16" o.c.
- F. 2 layers 5/8" Fire Code drywall.

NOTE: Water resistant drywall (green board) shall be used in all wet or exterior areas.


EXISTING CONDITIONS PHOTO KEY:

XX FIGURE NUMBER IN 2024 HSR UPDATE



revised: may 21, 1985

SCALE
 $1/4'' = 1' - 0''$



0 1 2 4 8

DATE
MAY 7, 1985

NOTE: reuse existing inner skylight frame from DACOR house. Frame to be repaired, reglazed w/ etched glass and installed as fixed unit. Glass panels shall be layed in without glazing compound to facilitate removal.

THE DACOR BACON HOUSE
1801 F STREET, NW

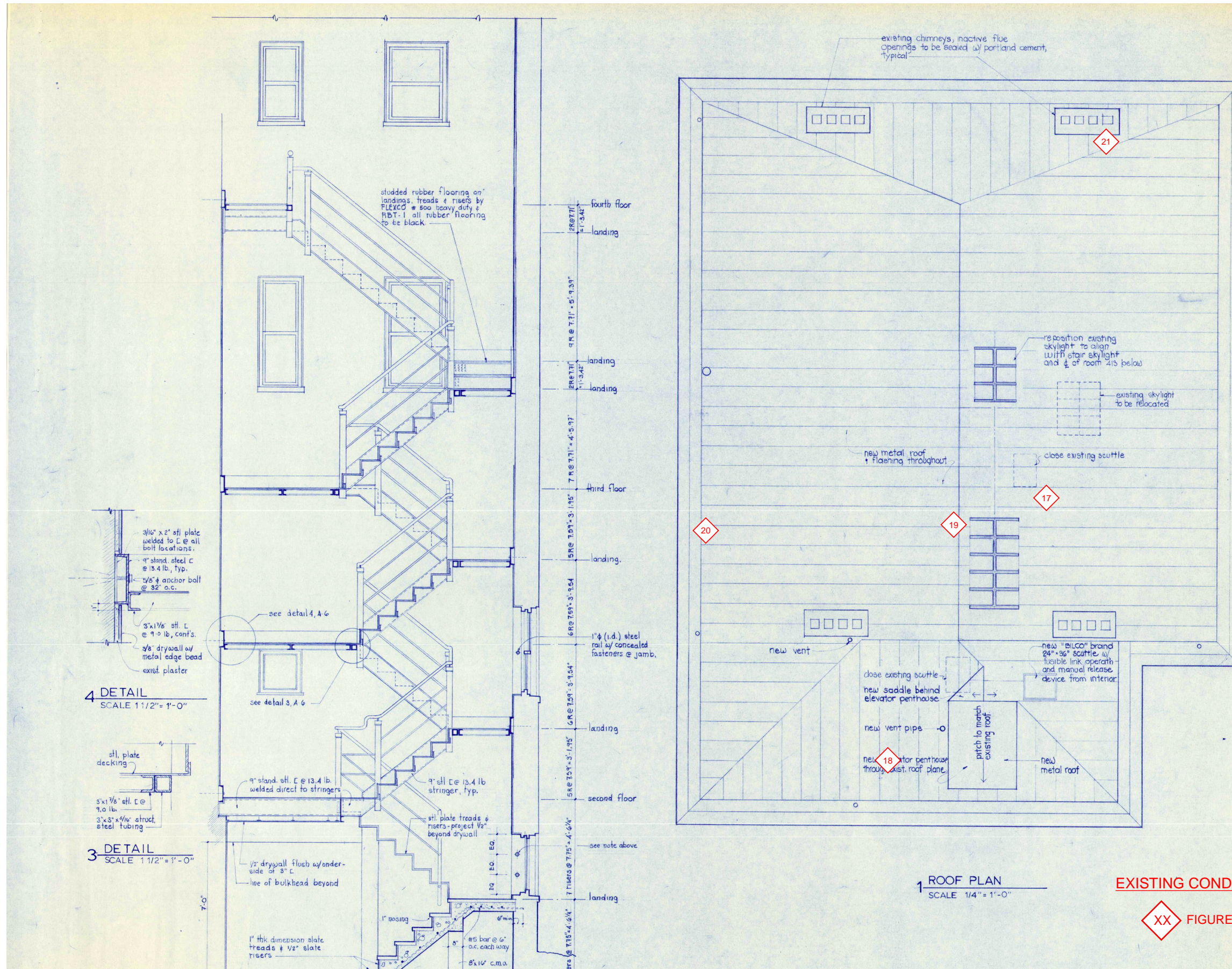
archetype
1841 columbia rd. nw
suite 202
washington, dc 20009
202 265-7565

**FOURTH
FLOOR
PLAN**

THE DACOR BACON HOUSE
1801 F STREET, NW

archetype
1841 columbia rd. nw
suite 202
washington, dc 20009
202 265-7565

**STAIR
DETAILS
AND
ROOF
PLAN**



EXISTING CONDITIONS PHOTO KEY:

XX FIGURE NUMBER IN 2024 HSR UPDATE